



**VILLAGE OF GREAT NECK  
ARCHITECTURAL REVIEW COMMITTEE**

**December 23, 2024**

**Agenda**

**I. CONTINUED CASES**

**II. NEW CASES**

- A. ARC CASE# 24-33 9 BERNARD STREET SECTION 1 LOT 51.2 BLOCK 329.629
- B. ARC CASE# 24-34 14 LAWSON LANE SECTION 1 BLOCK 203 LOT 87

**III. NEXT MEETING DATE**

- A. NEXT MEETING DATE JANUARY 28, 2024



**ITEM TITLE:**

ARC CASE# 24-33 9 BERNARD STREET SECTION 1 LOT 51.2 BLOCK 329.629

**SUBJECT:**

Application to replace siding on the entire house from wood to vinyl and change the color from beige to Cape Cod gray.



**ITEM TITLE:**

ARC CASE# 24-34 14 LAWSON LANE SECTION 1 BLOCK 203 LOT 87

**SUBJECT:**

Application to maintain the replaced windows and convert the garage into a home office. Relocate condenser to the rear yard.

**ATTACHMENTS:**

	Description	Type
▢	PLANS	Backup Material

# LAWSON LANE

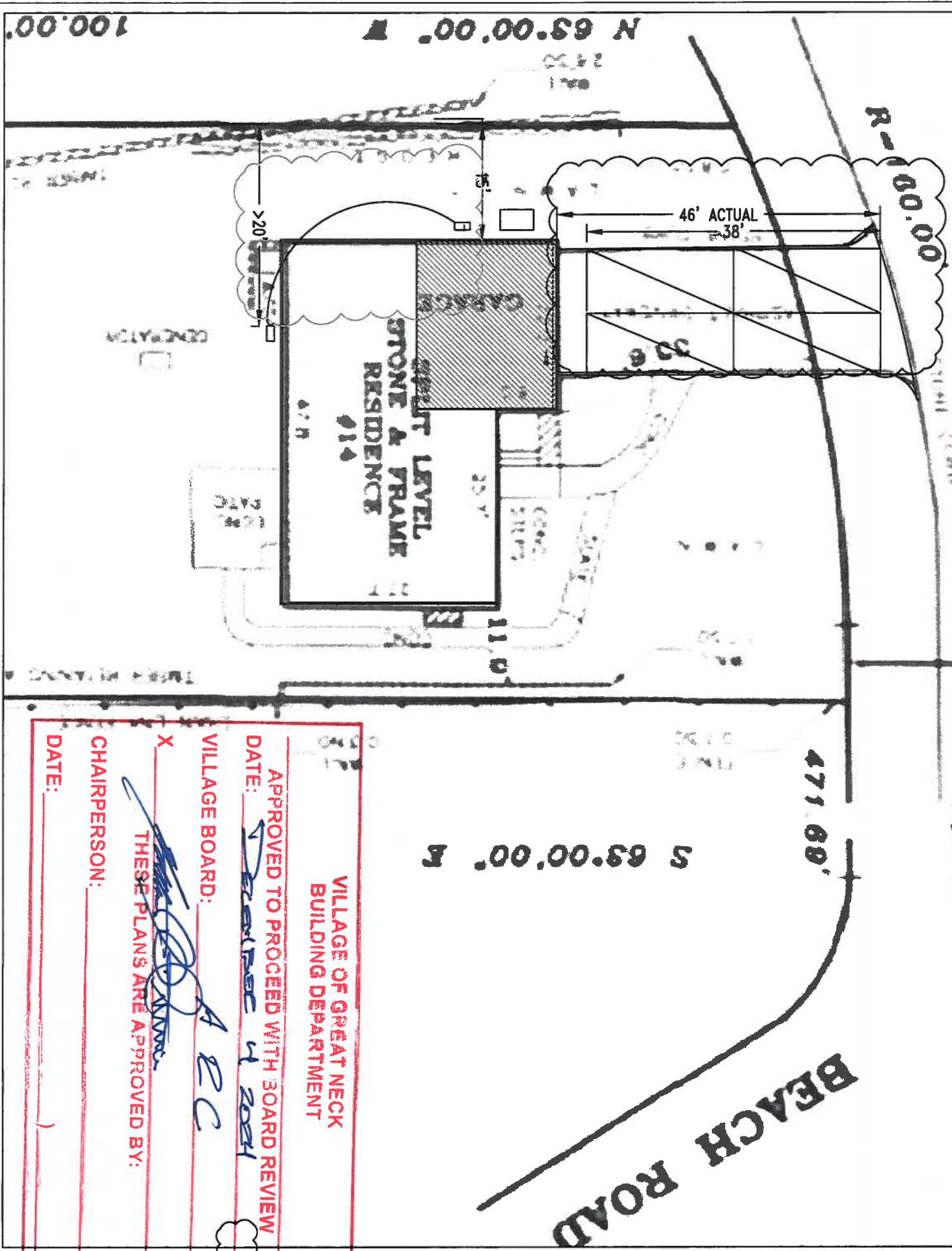
(50' WIDE)

L-68.09'

N 27°00'00" E  
10.00'

471.69'

# BEACH ROAD



**VILLAGE OF GREAT NECK  
BUILDING DEPARTMENT**

**APPROVED TO PROCEED WITH BOARD REVIEW**

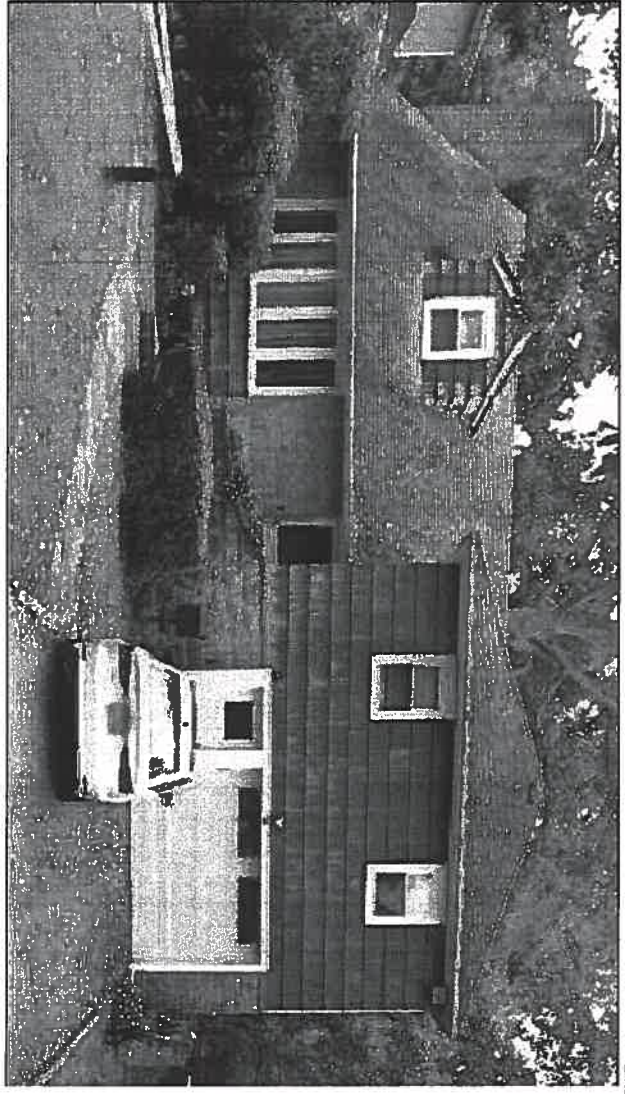
DATE: DEC 04 2024

VILLAGE BOARD: A B C

CHAIRPERSON: [Signature]

DATE: \_\_\_\_\_

THESE PLANS ARE APPROVED BY:



FRONT VIEW

**HOME OFFICE ZONING COMPLIANCE**

PROPOSED HOME OFFICE : PARTY PLANNING OFFICE IN EXISTING GARAGE 2 CAR GARAGE

CODE REF	REQUIREMENTS	PROPOSED
SEC 575-154 B (1)	NO DISPLAY OR ADVERTISING ON THE PREMISES	NO SIGNS OR ADVERTISING DISPLAYED
SEC 575-154 B (2)	OTHER THAN LEGAL RESIDENCE OF DWELLING, NO BUSINESS OFFICERS, DIRECTORS, EMPLOYEES, AGENTS, BUSINESS GUESTS, INVITEES, VISIT THE PREMISES IN CONNECTION WITH SUCH USE	NO VISITORS TO THE PREMISES IN CONNECTION TO THE HOME OFFICE
SEC 575-154 B (3)	HOME OFFICE DOES NOT OCCUPY NOT MORE THAN 1/3 OF THE AREA OF THE FIRST FLOOR OF THE DWELLING OR 500 SF	FIRST FLOOR AREA: 1490 SF HOME OFFICE AREA: 471 SF = 32% < 33% & LESS THAN 500 SF
SEC 575-154 B (4)	USE IS MERELY INCIDENTAL TO THE USE OF THE RESIDENTIAL DWELLING PURPOSES	HOME OFFICE IS INCIDENTAL USE OF THE HOME
SEC 575-154 B (5)	OTHER THAN STORAGE AND MAINTENANCE OF PAPER FILES, NO STORAGE OF GOODS, PRODUCTS, OR OTHER MATERIAL; AND NO SHIPPING TO OR ACCEPTED AT THE PREMISES	FILE STORAGE ONLY FOR PAPER FILES. NO SHIPPING OR RECEIVING OF PACKAGES.

**BUILDING DEPARTMENT INFO**

ADDRESS: 14 LAWSON LANE GREAT NECK NY  
PROPERTY OWNER: ELENA HAJIBAI

SECTION	1	TOT	87
BLOCK	203	ZONE	RES - A-1

VILLAGE OF GREAT NECK  
BUILDING DEPARTMENT

DEC 04 2024

RECEIVED

**RECEIVED**

DEC 04 2024

REGISTERED ARCHITECT  
ANTHONY ARCE  
STATE OF NEW YORK  
026985

**Proposed Home office**  
14 Lawson Lane  
Great Neck, New York,

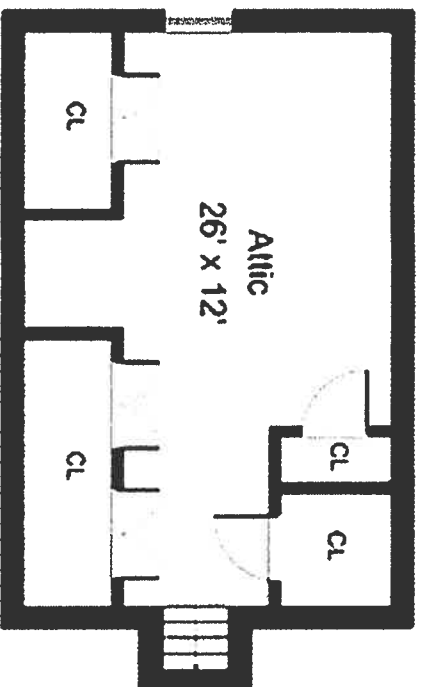
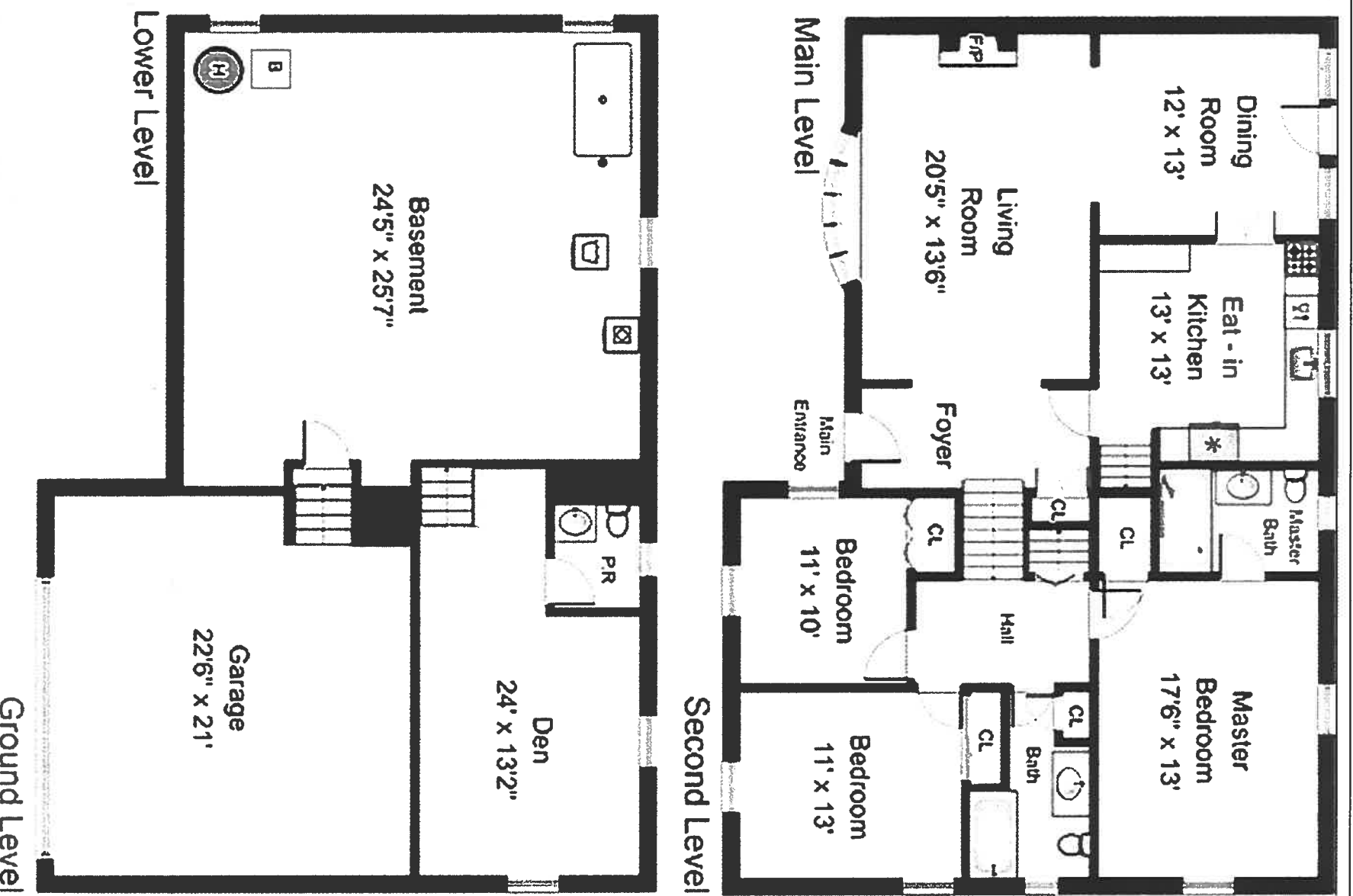
SITE PLAN / PROJECT INFO



**ARCHITECTURE PC**  
447 Jackson Ave. West Hempstead  
New York, 11552 Tel: 516 220-1949

DATE: 1.17.24  
REVISED: 12.3.24

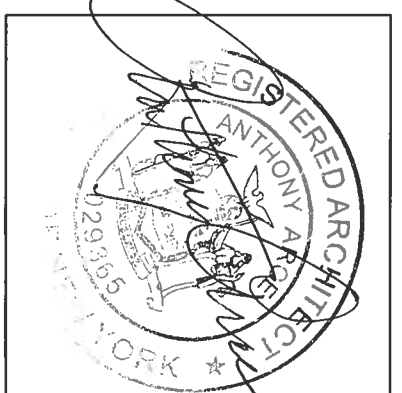
DWG. NO. **A-1**



Third Level

BUILDING CODE ANALYSIS

ITEM NO.	BUILDING FEATURES	APPLICABLE CODE SECTIONS	REQUIREMENTS	PROPOSED	CONFORMS TO CODE
1	PERMIT FEES	https://records360.com/63092046/30 9204	AC unit: \$150 x 3 = \$450. office: (\$200 + (\$3x 475ft)) x 3 = \$3426	SUBMIT FILING FEES	✓
2	UPPER LEVEL WORK	VILLAGE OF GREAT NECK DENIAL LETTER	INDICATE IF THERE IS ANY PROPOSED WORK ON UPPER LEVELS	NO WORK PROPOSED ON UPPER LEVELS INDICATED ON PLANS	✓
3	EXISTING FLOOR PLANS	VILLAGE OF GREAT NECK DENIAL LETTER	PROVIDE PLAN OF THE SPACE BEFORE THE CHANGES	SEE EXISTING PLANS ON SHEET A-4B	✓
4	TAX ASSESSMENT FORM	BUILDING DEPT. TAX FORMS	SUBMIT A MASSAU COUNTY RESIDENTIAL TAX ASSESSMENT FORM	MASSAU COUNTY RESIDENTIAL TAX ASSESSMENT FORM SUBMITTED	✓
5	OUTDOOR COMPRESSOR	CHAPTER 575-170.2	1. WITHIN 3 FT OF DWELLING 2. MORE THAN 5 FT FROM PROPERTY LINE 3. AT LEAST 10 FT FROM FRONT OF DWELLING 4. LESS THAN 80 DBA SOUND LEVEL 5. SCREENED OFF FROM ADJACENT PROPERTY	SEE DETAIL PLAN - EXISTING LANDSCAPE SCREEN AT PROPERTY LINE	✓
6	ACCESSORY HOME OFFICE USES	CHAPTER 575-154.8 OFFICE	1. ONLY LEGAL RESIDENTS OF THE DWELLING. 2. OFFICE AREA < 1/3 OF THE FIRST FLOOR	OFFICE AREA 471 SF < 500 SF. HOME BUSINESS PLANNING. NO WORKERS PROVIDED. (SUBMITTED)	✓
7	PROPERTY SURVEY	VILLAGE OF GREAT NECK DENIAL LETTER	SUBMIT PROPERTY SURVEY	PROVIDED	✓
8	PARKING IN RESIDENCE DISTRICTS	CHAPTER 575-155.C AND 575-155.I.1	4 BEDROOM DWELLING - 3 PARKING SPACES HOME OFFICE - MEDICAL / PROFESSIONAL OFFICES - 3 PARKING SPACES	3 PARKING SPACES ON EXISTING DRIVEWAY HOME OFFICE IS NOT A MEDICAL / PROFESSIONAL OFFICE	✓
9	EXISTING CEILING HTS	NY AJDOL 2.3	HABITABLE SPACE MIN CEILING HT: 8'0" AFF	EXISTING CEILING HT: 9'0" AFF	✓
10	CARBON MONOXIDE ALARM	NY AJDOL 3.2	10 YEAR BATTERY CO DETECTOR	10 YEAR BATTERY CO DETECTOR	✓
11	LIGHT / VENTILATION	NY AJDOL 2.2 VOCOD 31.9. Habitable space.	NATURAL LIGHT: .8% OF ROOM SF. VENT > .4% OF ROOM SF. VENT REQ. 4% OF INTERIOR SPACE	EXISTING EXTERIOR DOOR 3X7 AND OPERATING GARAGE DOOR 7X10 > THE REQ. 15%+. ARTIFICIAL LIGHTING PROVIDED (SEE 8' x 10' x 10')	✓
12	EXISTING STAIRS	NY AJDOL 2.2	RISER X TREAD > 70 IN OR < 80 RISER HT < 9"	SEE PLANS AND ENERGY ANALYSIS	✓
13	CONVERTED SPACE ENVELOPE	R402.1.2	PLAN INDICATING ENVELOPE R AND U VALUES	SEE INSULATION SPECS	✓
14	BATT INSULATION	R302.10	FIRE AND FLAME RESISTANCE	SEE INSULATION SPECS	✓
15	FOAM PLASTIC INSULATION	R302.10	NOT USED	NOT USED	✓
16	PROFESSIONAL STATEMENT	R105.2.2	INCLUDE THE PROFESSIONAL STATEMENT	PROFESSIONAL STATEMENT ON PLAN	✓
17	HAZARDOUS WINDOW LOCATIONS	R308.4	INDICATE ALL HAZARDOUS WINDOW LOCATIONS	SEE WINDOW SCHEDULE	✓
18	GLASS REPLACEMENT	R308 PER AJDOL 2-4.2	GLASS REPLACEMENT	SEE WINDOW SCHEDULE	✓
19	EMERGENCY EGRESS WINDOWS	R310	SPECIFY EMERGENCY EGRESS WINDOW LOCATIONS	EXTERIOR DOOR: 3'6" x 6'6" (SUBMITTED) Windows	✓
20	WINDOW U AND SHGC VALUES	R105.5.1	WINDOW SCHEDULE INDICATING U AND SHGC VALUES	SEE WINDOW SCHEDULE	✓
21	EMERGENCY ESCAPE AND RESCUE OPENING IN BASEMENT	R310	PROVIDE EMERGENCY ESCAPE AND RESCUE OPENING IN BASEMENTS RECONFIGURATION OF SPACE TO HABITABLE SPACE	N/A - BASEMENT WILL NOT BE CONVERTED INTO A HABITABLE SPACE	✓
22	WINDOW FALL PROTECTION	R312.2	PROVIDE WINDOW SILL HTS AND WINDOW FALL PROTECTION	WINDOW FALL PROTECTION SHALL BE PROVIDED FOR WINDOWS 5 FT ABOVE FINISHED GRADE	✓
23	WINDOW WIDTHS	VILLAGE OF GREAT NECK DENIAL LETTER	PROVIDE WINDOW WIDTHS OF EXISTING AND PROPOSED NEW WINDOWS	N/A - ALL WINDOW REPLACEMENTS ARE THE SAME SIZE OF THE ORIGINAL WINDOWS. NO HEADER CHANGES REQUIRED	✓



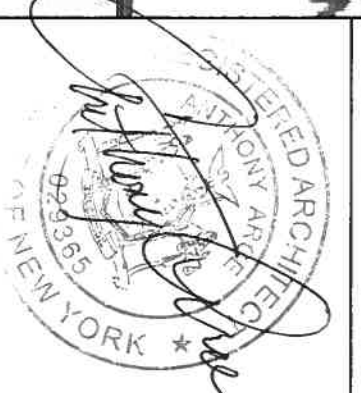
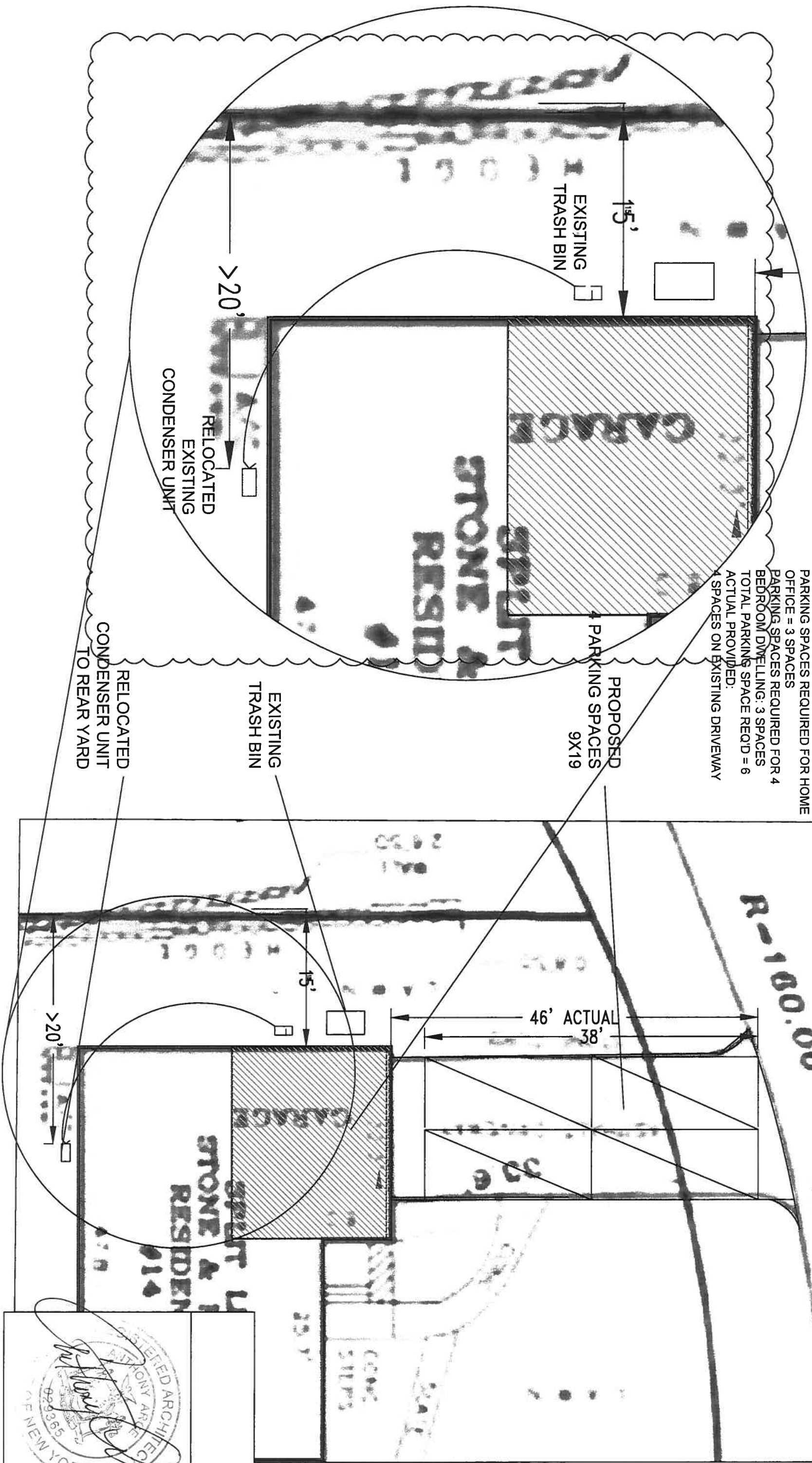
Proposed Home office  
14 Lawson Lane  
Great Neck, New York,

EXISTING PLANS

ARCHITECTURE PC  
447 Jackson Ave. West Hempstead  
New York, 11552 Tel: 516 220-1949

DATE: 1.17.24  
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DWG. NO. A-2

PARKING CALCULATIONS, PER 575-155.C AND 575-155.J.1  
 PARKING SPACES REQUIRED FOR HOME OFFICE = 3 SPACES  
 PARKING SPACES REQUIRED FOR 4 BEDROOM DWELLING: 3 SPACES  
 TOTAL PARKING SPACE REQ'D = 6  
 ACTUAL PROVIDED:  
 4 SPACES ON EXISTING DRIVEWAY

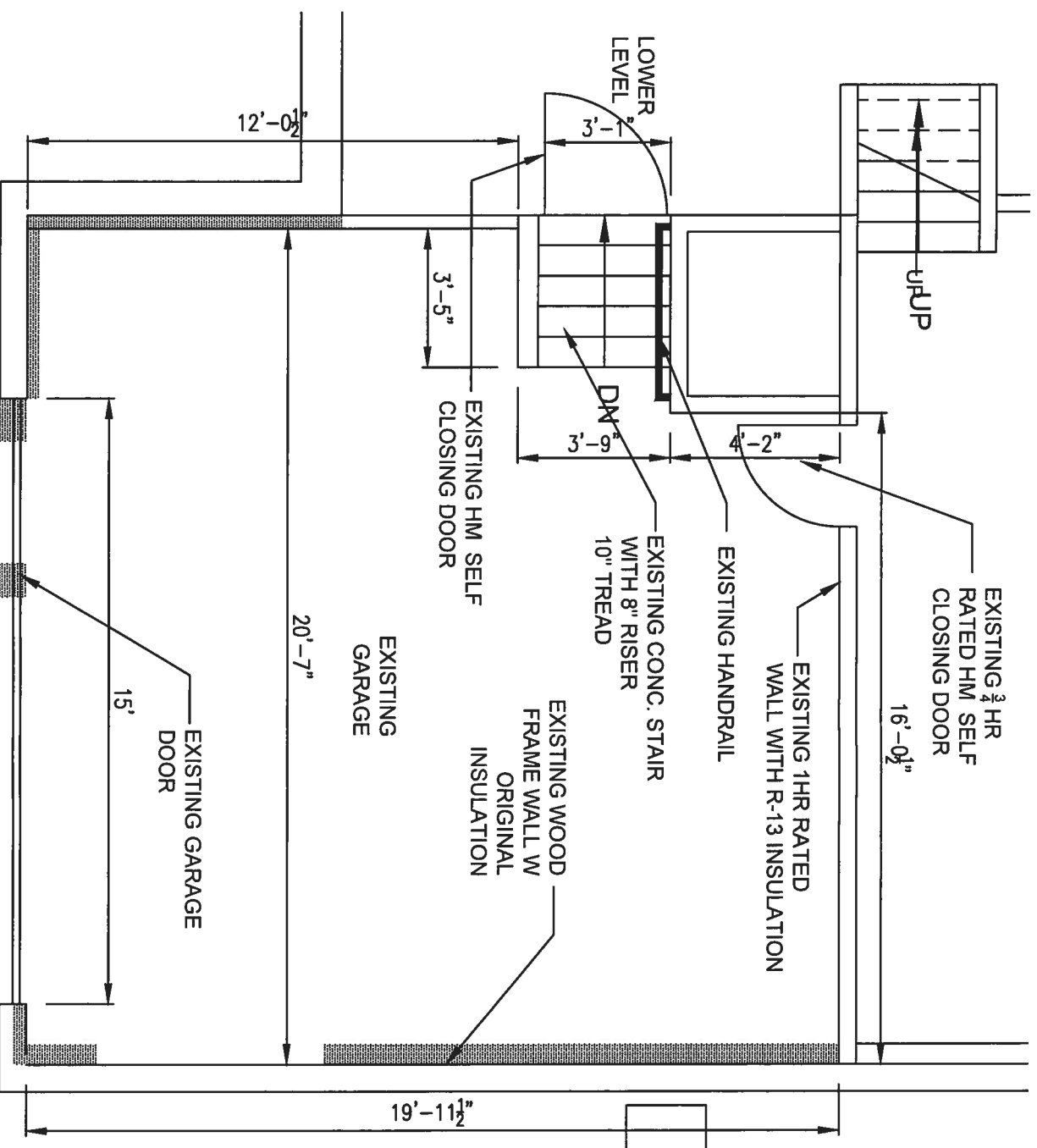


**Proposed Home office**  
 14 Lawson Lane  
 Great Neck, New York,

PARKING AND AC UNIT RELOCATION

**AA ARCHITECTURE PC**  
 447 Jackson Ave. West Hempstead  
 New York, 11552 Tel: 516 220-1949

DATE: 1.17.24  
 REVISED: 12.3.24  
 DWG. NO. **A-3**



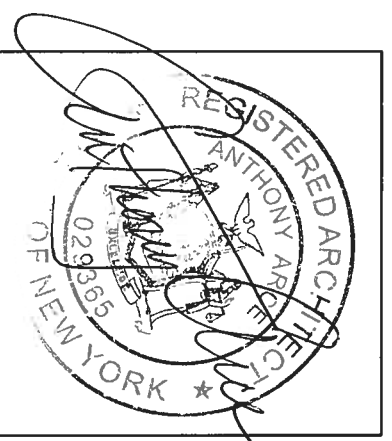
EXISTING GARAGE PLAN  
1/4"=1'-0"

Proposed Home office  
14 Lawson Lane  
Great Neck, New York,

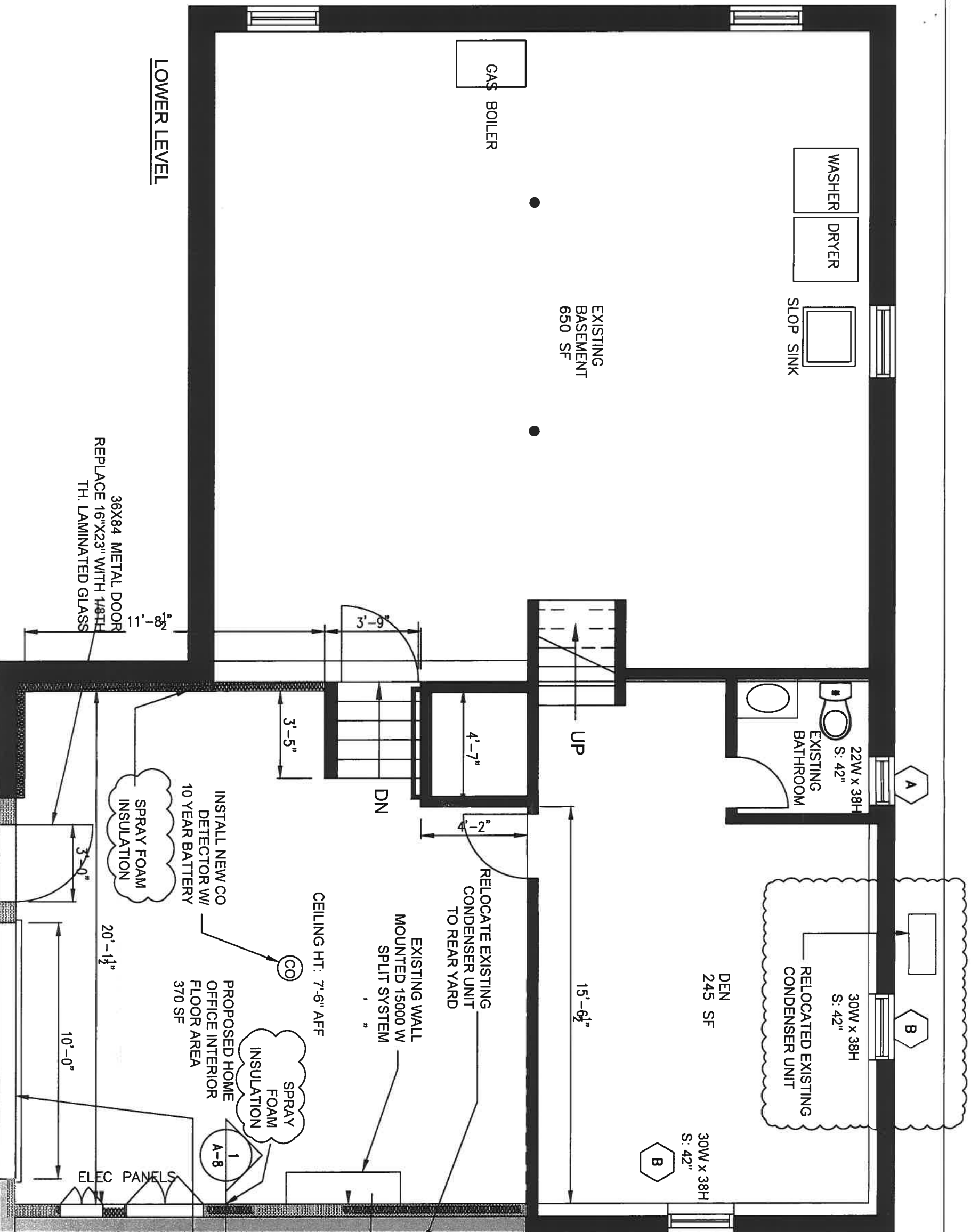
EXISTING GARAGE PLAN  
1/4"=1'-0"



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447 Jackson Ave. West Hempstead  
New York, 11552 Tel: 516 220-1949



DATE: 1.17.24  
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DWG. NO. **A-4A**



- PROJECT DESCRIPTION:**
1. PROPOSED HOME OFFICE PROPOSED TO BE MAINTAINED IN THE EXISTING GARAGE.
  2. ORIGINAL GARAGE DOORS REPLACED WITH A 10FT WIDE INSULATED GARAGE DOOR AND AN ADJACENT ENTRANCE DOOR.
  3. INTERIOR WALL FURRED OUT TO INSULATE THE WALLS.
  4. EXISTING CEILINGS REMAINED AND ARE 1 HR RATED
  5. EXISTING WALLS SEPARATING THE GARAGE AND THE LIVING SPACES ARE 1 HR RATED WALLS WITH HOLLOW METAL SELF CLOSING DOOR
  6. INSTALLED A 15000 BTU MINI SPLIT SYSTEM FOR HEATING AND COOLING WITH A OUTDOOR CONDENSER UNIT.
  7. ORIGINAL LIGHTING REMAINS IN PLACE

LOWER LEVEL

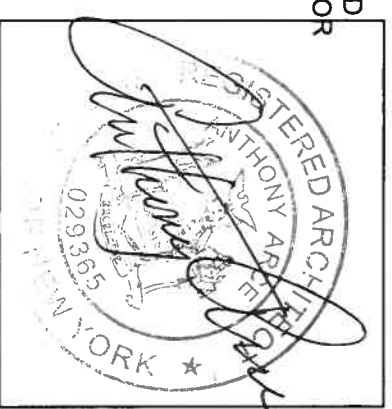
36X84 METAL DOOR  
REPLACE 16"X23" WITH 1/8" TH. LAMINATED GLASS

INSTALL NEW CO  
DETECTOR W/  
10 YEAR BATTERY  
SPRAY FOAM  
INSULATION

PROPOSED HOME  
OFFICE INTERIOR  
FLOOR AREA  
370 SF

SPRAY  
FOAM  
INSULATION

OPERABLE INSULATED  
ROLL UP GARAGE DOOR  
WITH GLASS PANELS



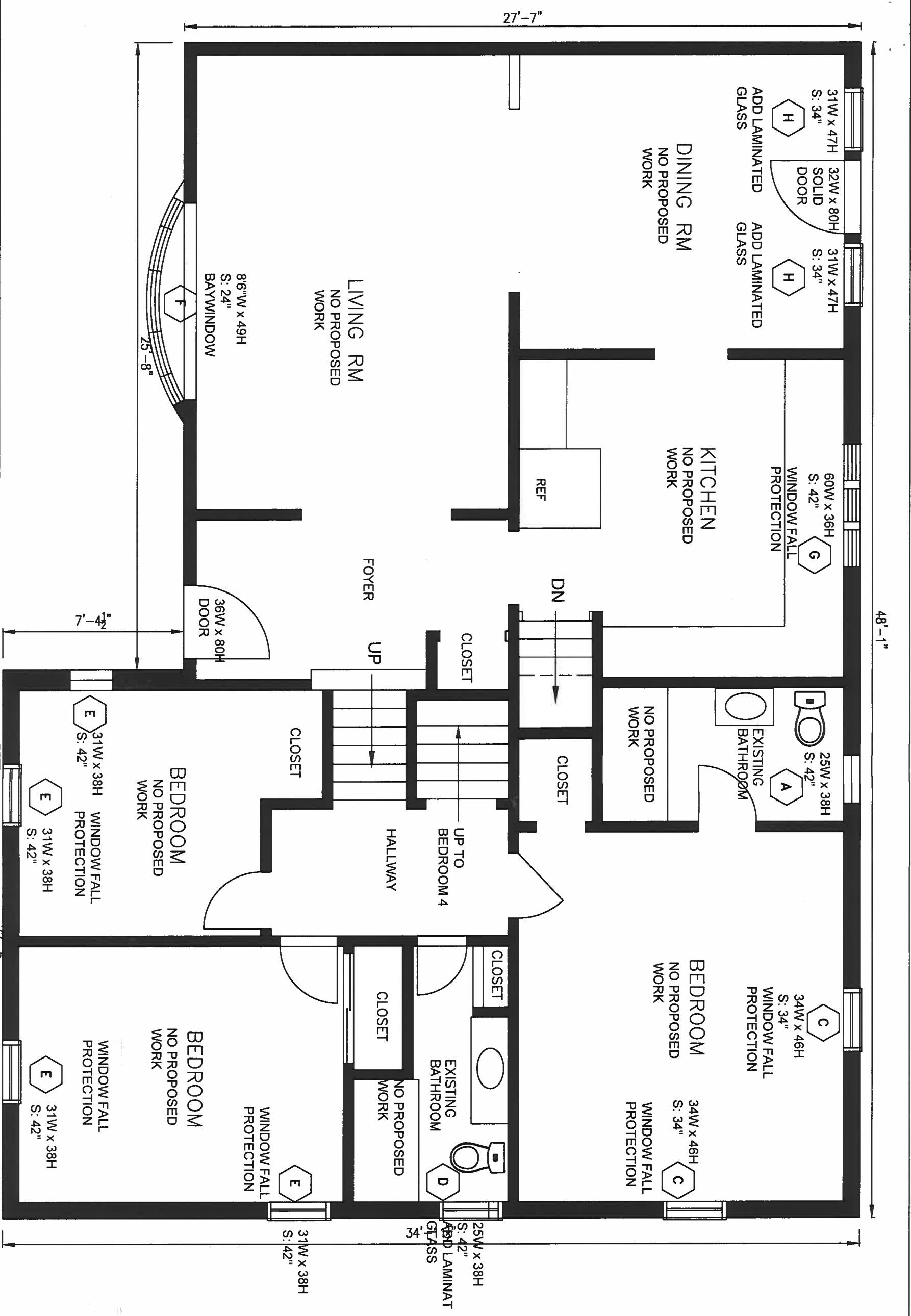
**Proposed Home office**  
14 Lawson Lane  
Great Neck, New York,

GROUND LEVEL AND LOWER LEVEL  
1/4"=1'-0"

**AA ARCHITECTURE PC**  
447 Jackson Ave.  
West Hempstead  
New York, 11552 Tel: 516 220-1949

DATE: 1.17.24  
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DWG. NO. **A-4 B**





48'-1"

27'-7"

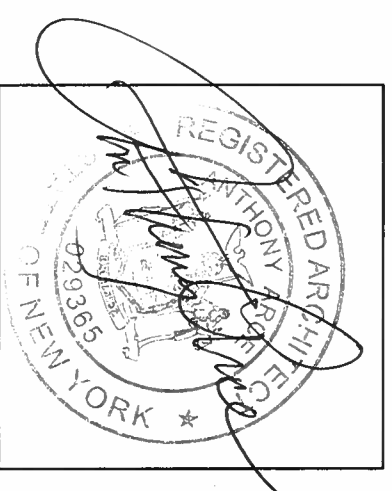
NOTE:  
 [NY] AJ701.2.1 EXISTING EMERGENCY ESCAPE AND RESCUE OPENINGS EMERGENCY ESCAPE AND RESCUE OPENINGS NEED NOT MEET THE REQUIREMENTS OF THIS CODE WHERE SUCH OPENINGS WERE LAWFULLY IN EXISTENCE AT THE TIME OF THE ADOPTION OF THIS CODE.

1. THIS HOME WAS BUILT BEFORE THIS CODE WAS ADOPTED THEREFORE THE EXISTING WINDOWS THAT WERE REPLACED WITHOUT CHANGING THE SIZE ARE EXEMPT FROM COMPLYING TO THE EMERGENCY EGRESS CODE.
2. ALL WINDOWS REPLACED ARE DOUBLE INSULATED GLASS.

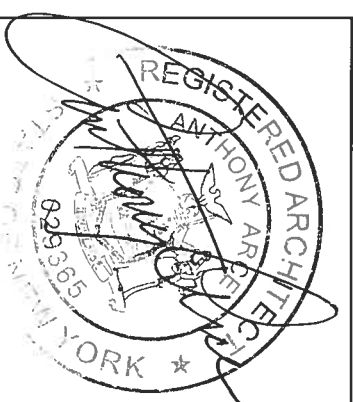
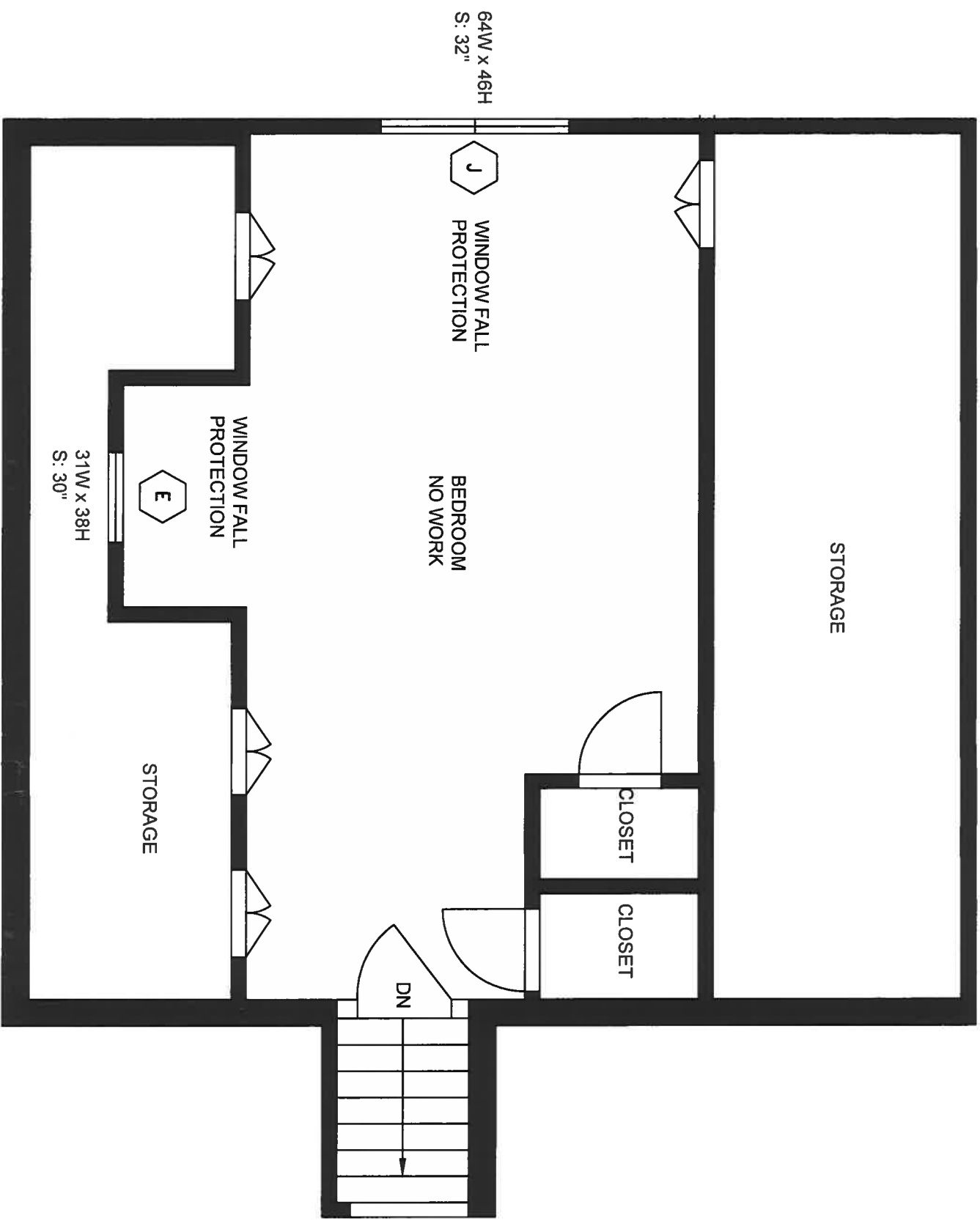
**Proposed Home office**  
 14 Lawson Lane  
 Great Neck, New York,

**MAIN LEVEL AND 2ND LEVEL**  
 1/4"=1'-0"

**AA ARCHITECTURE PC**  
 447 Jackson Ave. West Hempstead  
 New York, 11552 Tel: 516 220-1949



DATE: 1.17.24  
 REVISED: 12.3.24  
 DWG. NO. **A-5**

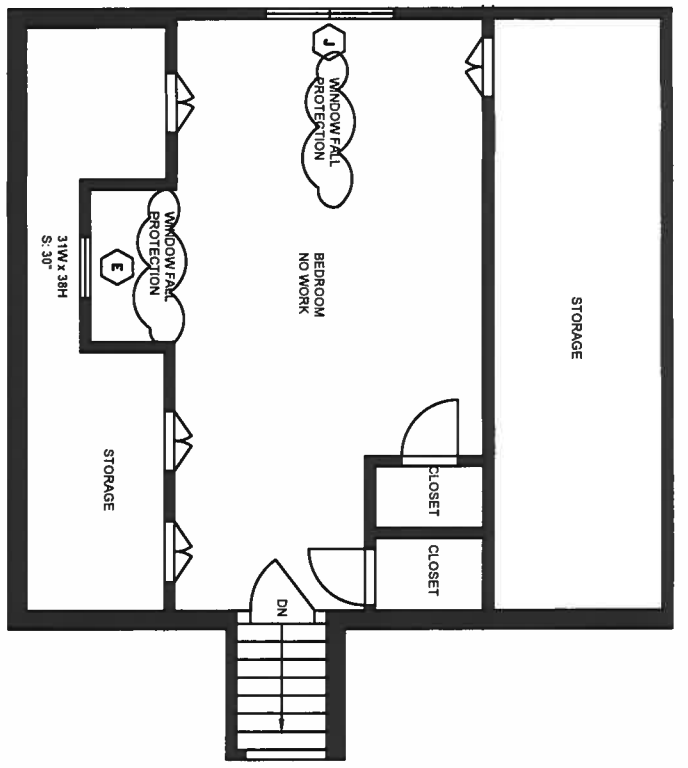
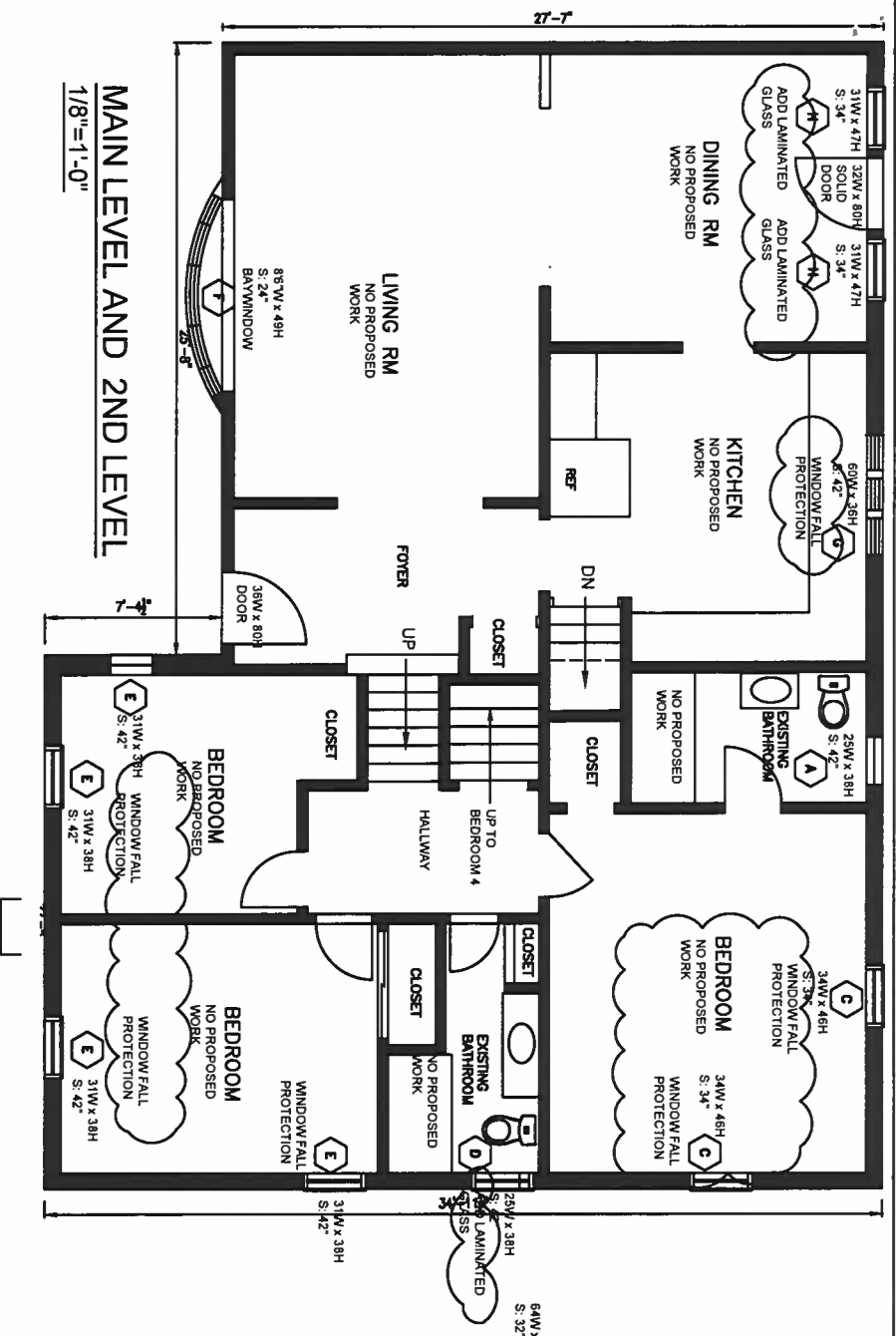


**Proposed Home office**  
 14 Lawson Lane  
 Great Neck, New York,

**THIRD LEVEL**  
 1/4"=1'-0"

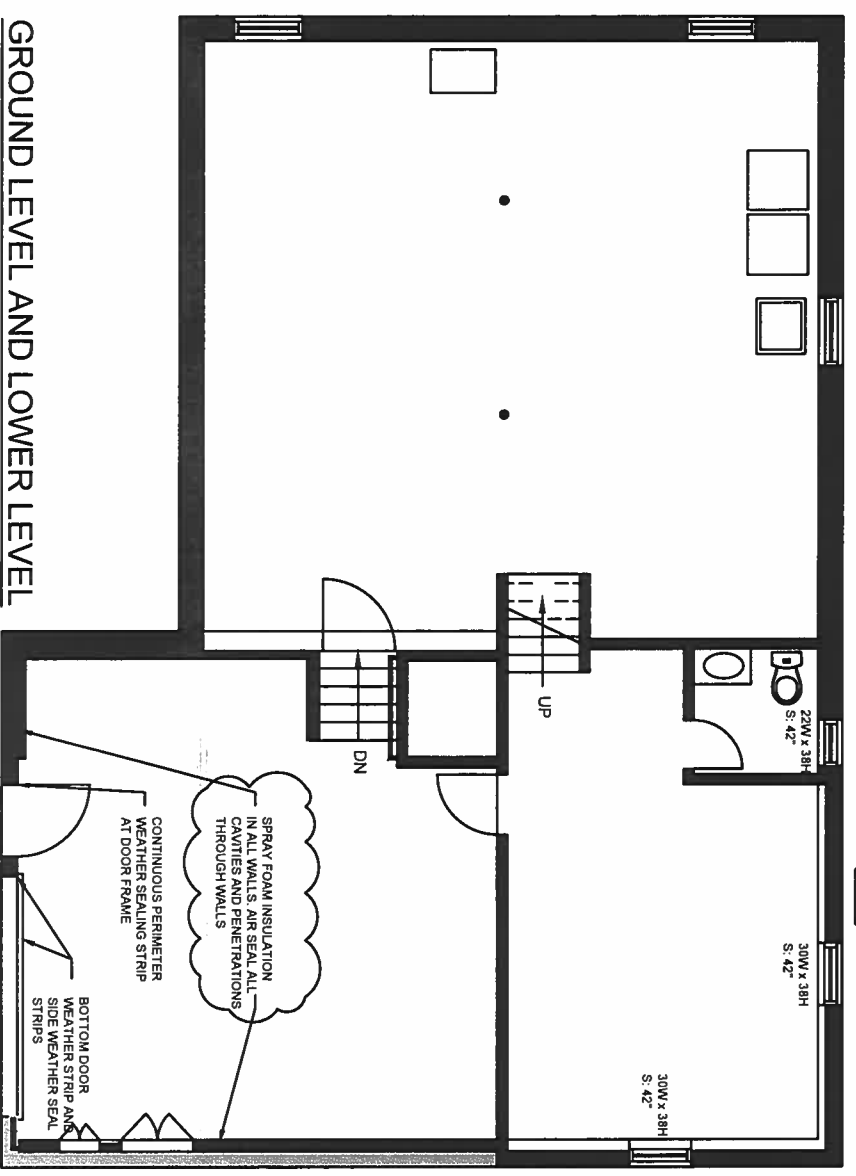
**AA ARCHITECTURE PC**  
 447 Jackson Ave. West Hempstead  
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DATE: 1.17.24  
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 DWG. NO. **A-6**



R310.2.5 REPLACEMENT WINDOWS  
REPLACEMENT WINDOWS INSTALLED  
IN BUILDINGS MEETING THE SCOPE OF  
THIS CODE SHALL BE EXEMPT FROM  
THE MAXIMUM SILL HEIGHT  
REQUIREMENTS OF SECTION R310.2.2  
AND THE REQUIREMENTS OF SECTION  
R310.2.1, PROVIDED THAT THE  
REPLACEMENT WINDOW MEETS THE  
FOLLOWING CONDITIONS:  
THE REPLACEMENT WINDOW IS THE  
MANUFACTURER'S LARGEST  
STANDARD SIZE WINDOW THAT WILL  
FIT WITHIN THE EXISTING FRAME OR  
EXISTING ROUGH OPENING. THE  
REPLACEMENT WINDOW IS OF THE  
SAME OPERATING STYLE AS THE  
EXISTING WINDOW OR A STYLE THAT  
PROVIDES FOR AN EQUAL OR  
GREATER WINDOW OPENING AREA  
THAN THE EXISTING WINDOW.  
THE REPLACEMENT WINDOW IS NOT  
PART OF A CHANGE OF OCCUPANCY.

**PROFESSIONAL STATEMENT:**  
TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGMENT, THE PLANS AND SPECIFICATIONS DEPICTED ON THESE DRAWINGS ARE IN COMPLIANCE WITH THE APPLICABLE PROVISIONS OF THE NYS UNIFORM FIRE PREVENTION AND BUILDING CODE AND THE NYS ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE AS CURRENTLY IN EFFECT.



**WINDOW SCHEDULE**

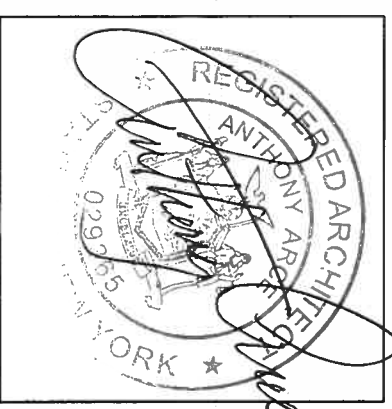
MARK	TYPE	MANUFACTURER	QTY	RO DIMS (WxH)	FRAME MATERIAL	HAZARDOUS LOCATION	GLASS TYPE	EXTERIOR SILL HT	U-FACT GR	SHGC	COMMENTS
A	DOUBLE HUNG	ANDERSON	1	22 X 18	VINYL	N/A	LO E/F/AR	42	0.26	0.34	NO CHANGE IN PROPOSED WINDOW REPLACEMENT WIDTH OR STYLE
B	DOUBLE HUNG	ANDERSON	2	30 X 38	VINYL	N/A	LO E/F/AR	42	0.26	0.34	NO CHANGE IN PROPOSED WINDOW REPLACEMENT WIDTH OR STYLE
C	DOUBLE HUNG	ANDERSON	2	31 X 46	VINYL	WINDOW FALL PROTECTION PROVIDED	LO E/F/AR	>72	0.26	0.34	NO CHANGE IN PROPOSED WINDOW REPLACEMENT WIDTH OR STYLE
D	DOUBLE HUNG	ANDERSON	1	25 X 18	VINYL	N/A	LO E/F/AR	>72	0.26	0.34	NO CHANGE IN PROPOSED WINDOW REPLACEMENT WIDTH OR STYLE
E	DOUBLE HUNG	ANDERSON	5	31 X 38	VINYL	WINDOW FALL PROTECTION PROVIDED	LO E/F/AR	>72	0.26	0.34	NO CHANGE IN PROPOSED WINDOW REPLACEMENT WIDTH OR STYLE
F	EAV WINDOW	ANDERSON	1	102 X 48	VINYL	N/A	LO E/F/AR	36	0.26	0.34	NO CHANGE IN PROPOSED WINDOW REPLACEMENT WIDTH OR STYLE
G	3 CASSETT	ANDERSON	1	68 X 36	VINYL	N/A	LO E/F/AR	>72	0.26	0.34	NO CHANGE IN PROPOSED WINDOW REPLACEMENT WIDTH OR STYLE
H	DOUBLE HUNG	ANDERSON	2	31 X 37	VINYL	INSULATED GLASS WINDOW FALL PROTECTION PROVIDED	LO E/F/AR	32	0.26	0.34	NO CHANGE IN PROPOSED WINDOW REPLACEMENT WIDTH OR STYLE
I	DOUBLE HUNG	ANDERSON	1	64 X 36	VINYL	WINDOW FALL PROTECTION PROVIDED	LO E/F/AR	>72	0.26	0.34	NO CHANGE IN PROPOSED WINDOW REPLACEMENT WIDTH OR STYLE

**WINDOW FALL PROTECTION:**  
ALL WINDOWS INDICATED SHALL HAVE A WINDOW FALL PROTECTION DEVICE THAT COMPLIES WITH ASTM F 2090.  
**HAZARDOUS LOCATIONS:**  
ALL WINDOWS IN HAZARDOUS LOCATIONS SHALL HAVE 1/2" TH LAMINATED GLASS INSTALLED

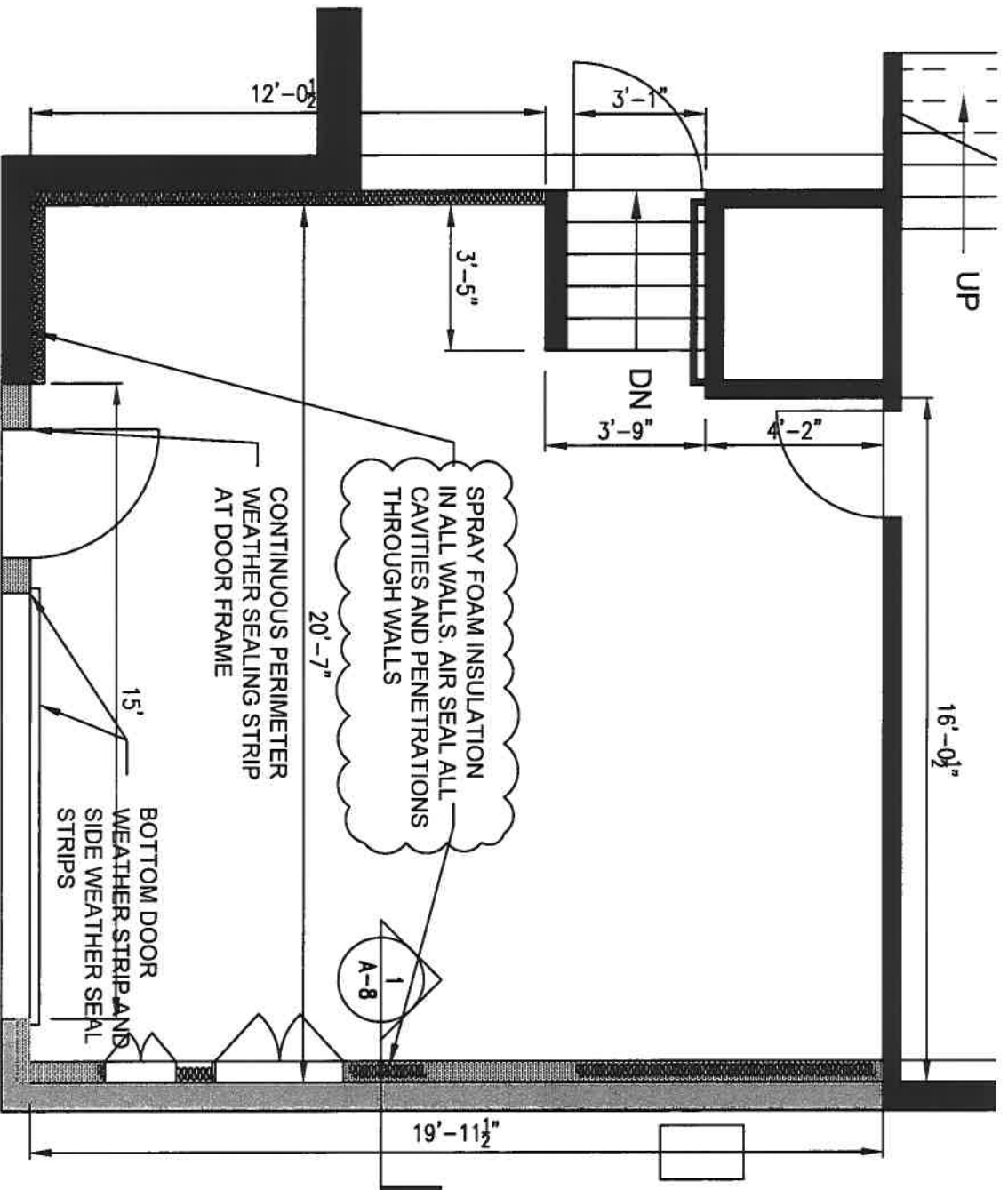
**Proposed Home office**  
14 Lawson Lane  
Great Neck, New York,

**ENERGY CODE COMPLIANCE**

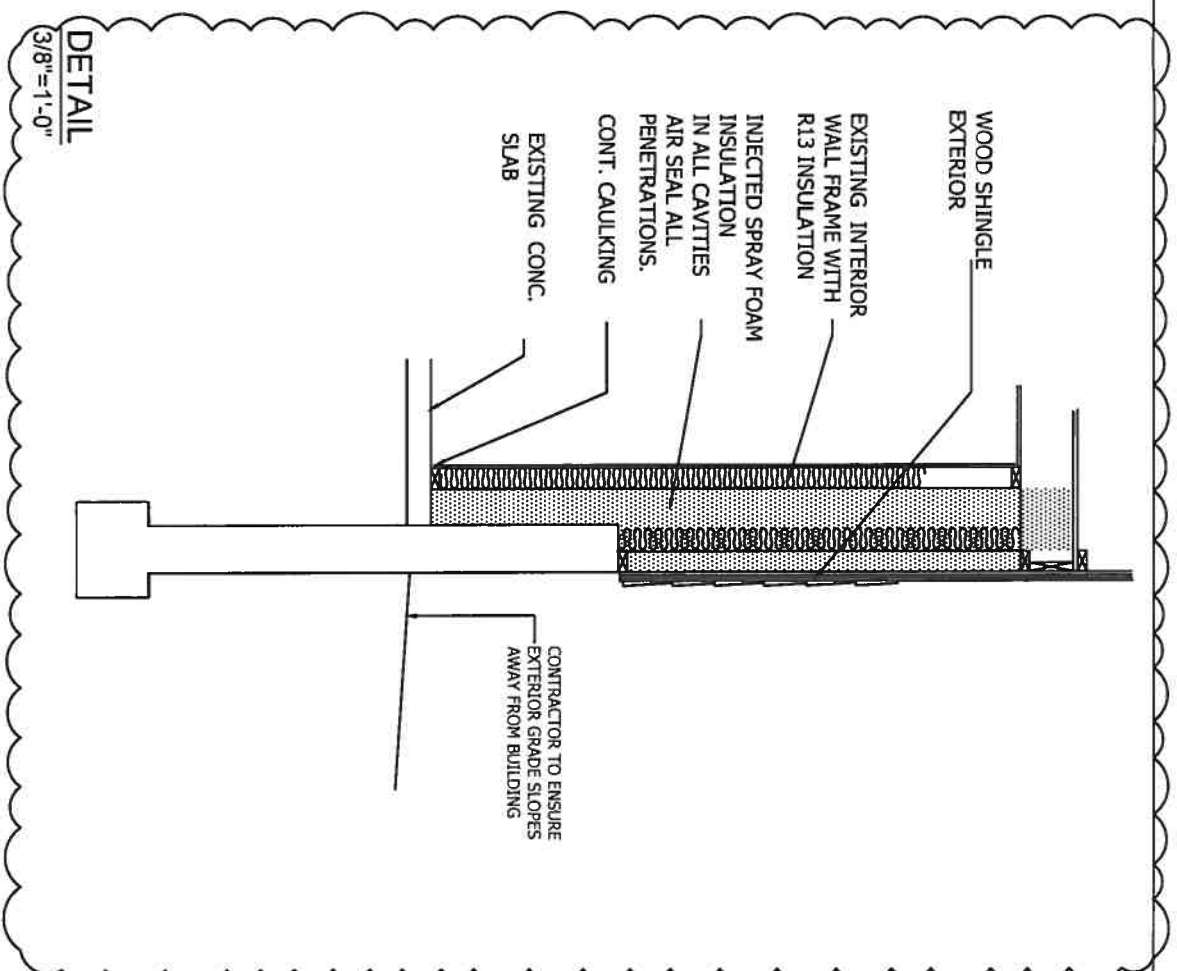
**AA ARCHITECTURE PC**  
447 Jackson Ave. West Hempstead  
New York, 11552 Tel: 516 220-1949



DATE: 1.17.24  
REVISED: 12.3.24  
DWG. NO. **A-7**



**GROUND LEVEL**



NEW YORK ENERGY CODE 2020  
 SCOPE OF WORK: ALTERATION OF EXISTING GARAGE

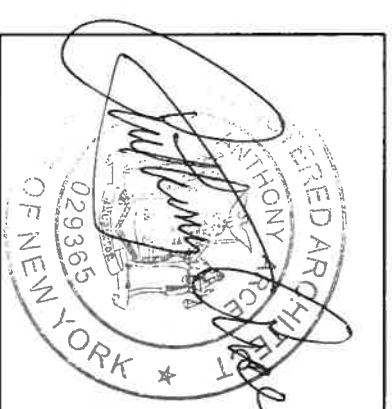
LABOURATORY ENERGY ANALYSIS FOR ALTERATION - CLIMATE ZONE 4

BUILDING ENVELOPE		ITEM DESCRIPTION		CODE PRESCRIPTIVE VALUE	PROPOSED DESIGN VALUE	SUPPORTING DOCUMENTATION
R102.1.2	INSULATION AND FENESTRATION CRITERIA	DOUBLE INSULATED GLASS WINDOWS	U VALUE MAX: .27 SIGC: MAX: .40	U VALUE MAX: .28 SIGC: .31	SEE WINDOW SCHEDULE	
R102.1.2	WOOD FRAME WALLS	FIBERGLASS INSULATION	R VALUE: 20 OR 13 + 5	R VALUE: R 20	SEE PLAN	
R102.1.2	CEILING	CEILING INSULATION	R VALUE: 49	NOT REQUIRED BETWEEN CONNECTION	N/A	
R102.1.2	GARAGE DOOR	INSULATION	R VALUE: 20 OR 13 + 5	R VALUE: R 18	DOOR SPEC	
R102.1.1.1	FLAME SPREAD AND SMOKE DEVELOPMENT INDEX	INSULATION	FLAME SPREAD <25 SMOKE DEVELOP <50	FLAME SPREAD <25 SMOKE DEVELOP <50	OWNER'S CORNING SPECIFICATIONS	
R102.1.2	GARAGE FLOOR SLAB ON GRADE	INSULATION	R VALUE: 10 - 211	R10-211 PERIMETER OF SLAB		

**Proposed Home office**  
 14 Lawson Lane  
 Great Neck, New York,

**DETAILS**  
 1/2"=1'-0"

**AA ARCHITECTURE PC**  
 447 Jackson Ave. West Hempstead  
 New York, 11552 Tel: 516 220-1949



DATE: 1.17.24  
 REVISED: 12.3.24  
 DWG. NO. **A-8**



**ITEM TITLE:**

NEXT MEETING DATE JANUARY 28, 2024